

ONE
ÁGORA

SERRANO GALVACHE, 26 **MADRID**



City Square
26

IBR
CME

A BUILDING THAT...

Attains
new
heights

Generates
well-being

Optimises
the here
and now

Revitalises
personal
relationships

Accelerates
innovation



1.
HUMAN
BUSINESS LINK

2.
LOCATION

3.
KEY HIGHLIGHTS

4.
THE PROPERTY

5.
SUSTAINABILITY
AND CONNECTIVITY

6.
AREA SCHEDULE

7.
FLOOR PLANS

8.
AMENITIES
AND TECHNICAL
SPECIFICATIONS

9.
CONTACT DETAILS

CON TEN TS

HUMAN BUSINESS LINK

LINKING PEOPLE,
BUSINESSES AND SPACES.



THE PERFECT LINK BETWEEN PEOPLE, BUSINESSES AND UNIQUELY DESIGNED SPACES



One Ágora is an office building that brings to life the Human Business Link concept, creating a space where businesses and people can grow and prosper.

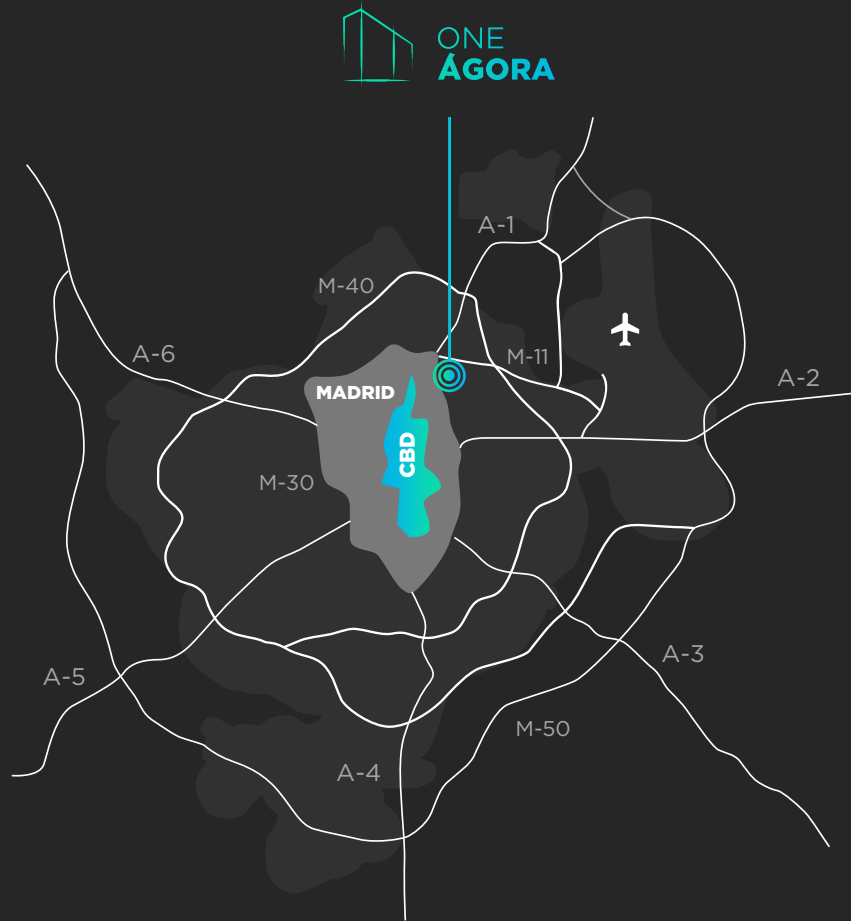
A unique meeting point where a day at the office takes on a whole new experience-based meaning and where employees are met with a wide array of uniquely designed spaces.



One Ágora focuses on occupier well-being, with the very people who bring the building alive at the heart of its design.

The building has been refurbished to create a workspace that will spearhead and shape the corporate future of Madrid.

Its location is no less than the Chamartín business area, the new and most up and coming business hub in the north of the city – Madrid Nuevo Norte.



CHAMARTÍN - THE NEW BUSINESS HUB IN THE NORTH OF THE CITY

One Ágora is located at calle Serrano Galvache 26, next to calle de Arturo Soria in Madrid's Chamartín business district. An up and coming area that is set to become one of the city's most sought-after business hubs.

Madrid Nuevo Norte forms part of a major regeneration project billed to create one of the country's largest hotspots for corporate talent.

One Ágora boasts excellent public and private transport links.

As well as being within striking distance of Bambú metro station and Chamartín mainline train station, it is also just a short distance from the Castellana hub, and benefits from direct access to the A1 and the Adolfo Suárez Madrid Barajas airport.



MADRID NUEVO NORTE



MADRID NUEVO NORTE
CENTRAL PARK



MADRID-BARAJAS AIRPORT



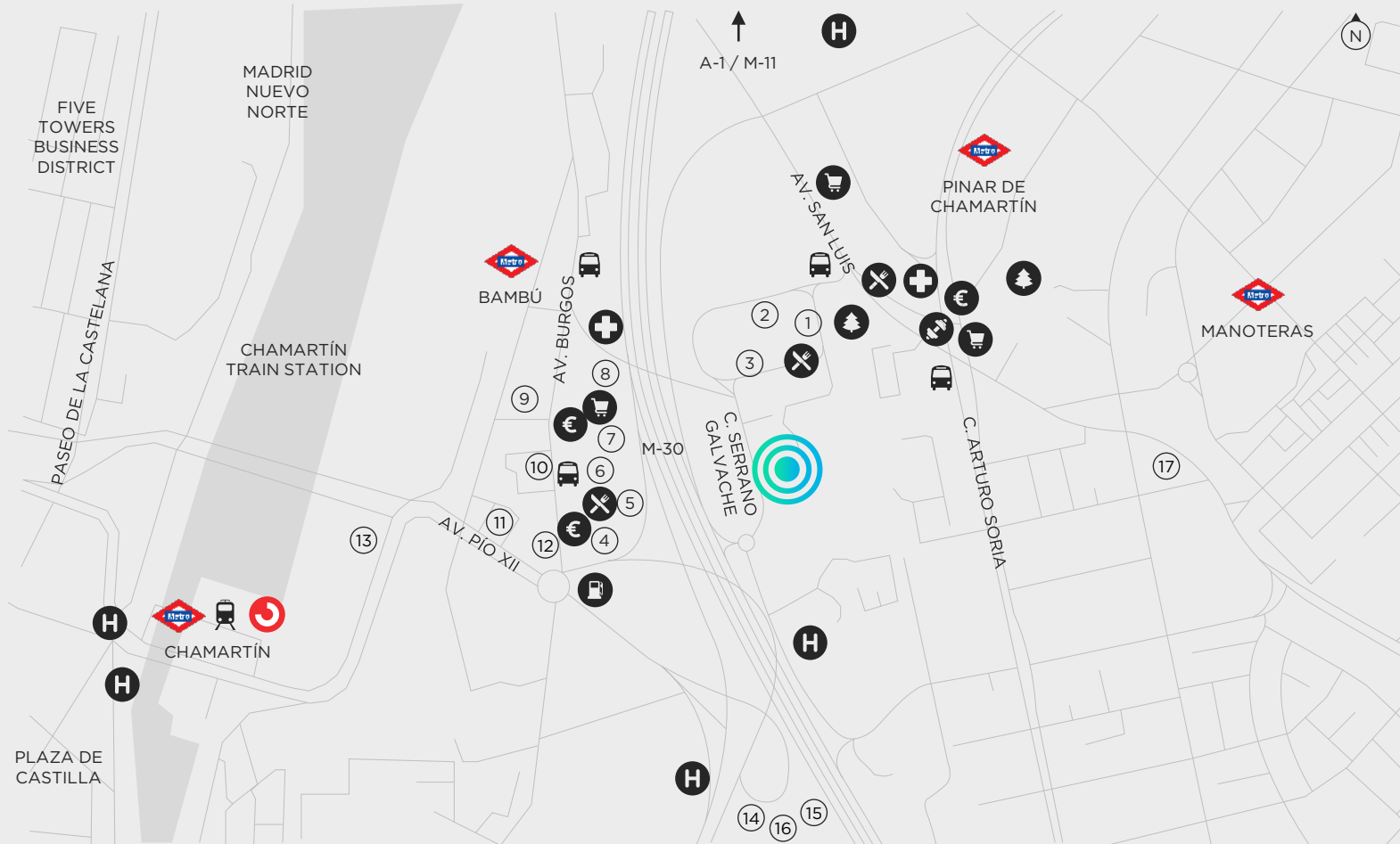
BAMBÚ METRO STATION



FUTURE CHAMARTÍN TRAIN STATION



WITHIN EASY REACH



LOCATION.

TRANSPORT



Bambú (L1), Pinar de Chamartín (L1, L4)

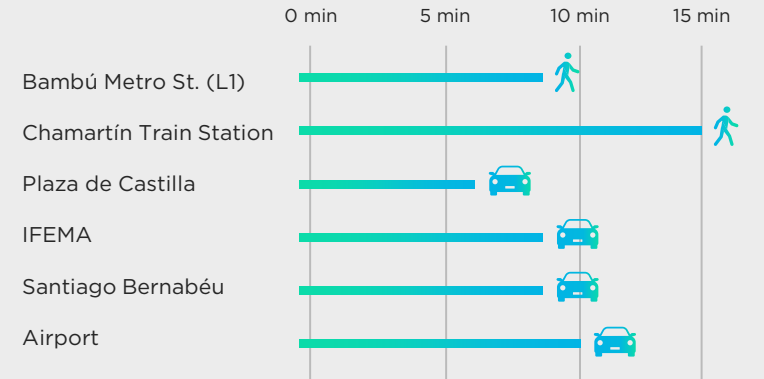


Lines 7, 14, 16, 29, 129, 150, 158, 174, N1



ALVIA, AVANT, AVE, MD, REG & CERCANÍAS Train Lines

JOURNEY TIMES FROM ONE ÁGORA



COMPANIES

- | | |
|----------------------|-----------------------------|
| 1. VESTAS | 10. MARSH |
| 2. THALES GROUP | 11. ACS |
| 3. ASTRAZENECA | 12. GRUPO HNA |
| 4. AUSTRIAN AIRLINES | 13. ADIF |
| 5. AGENCIA EFE | 14. THE WALT DISNEY COMPANY |
| 6. LUFTHANSA | 15. GRUPO COBRA |
| 7. SERVIHABITAT | 16. CONTRAPUNTO BBDO |
| 8. MANPOWER GROUP | 17. NATURGY |
| 9. ILUNION | |



KEY HIGHLIGHTS

31,764 sqm

Total lettable area above ground

16 floors

Above ground + 2 basement levels

450

Parking spaces

40 electric vehicle charging points

1:8

Occupancy ratio



Refurbished
by L35 Arquitectos



CERTIFICATIONS

- LEED BD+C Core&Shell Gold
- WELL Core Gold
- WELL Health&Safety
- Wiredscore Gold
- Smartscore



SERVICES AND SPACES

- Network cafe
- Rooftop with the possibility of use for all tenants
- Flex area
- Wellness room
- Restaurant with terrace
- Outdoor garden
- New lobby
- Areas to organize events (rooftop, interior and exterior areas)
- Agora with 5x3 screen
- Meeting rooms on the garden floor with the possibility of use for all tenants
- Exterior LED lighting
- Possibility of sign on the top
- Exterior totem
- APP



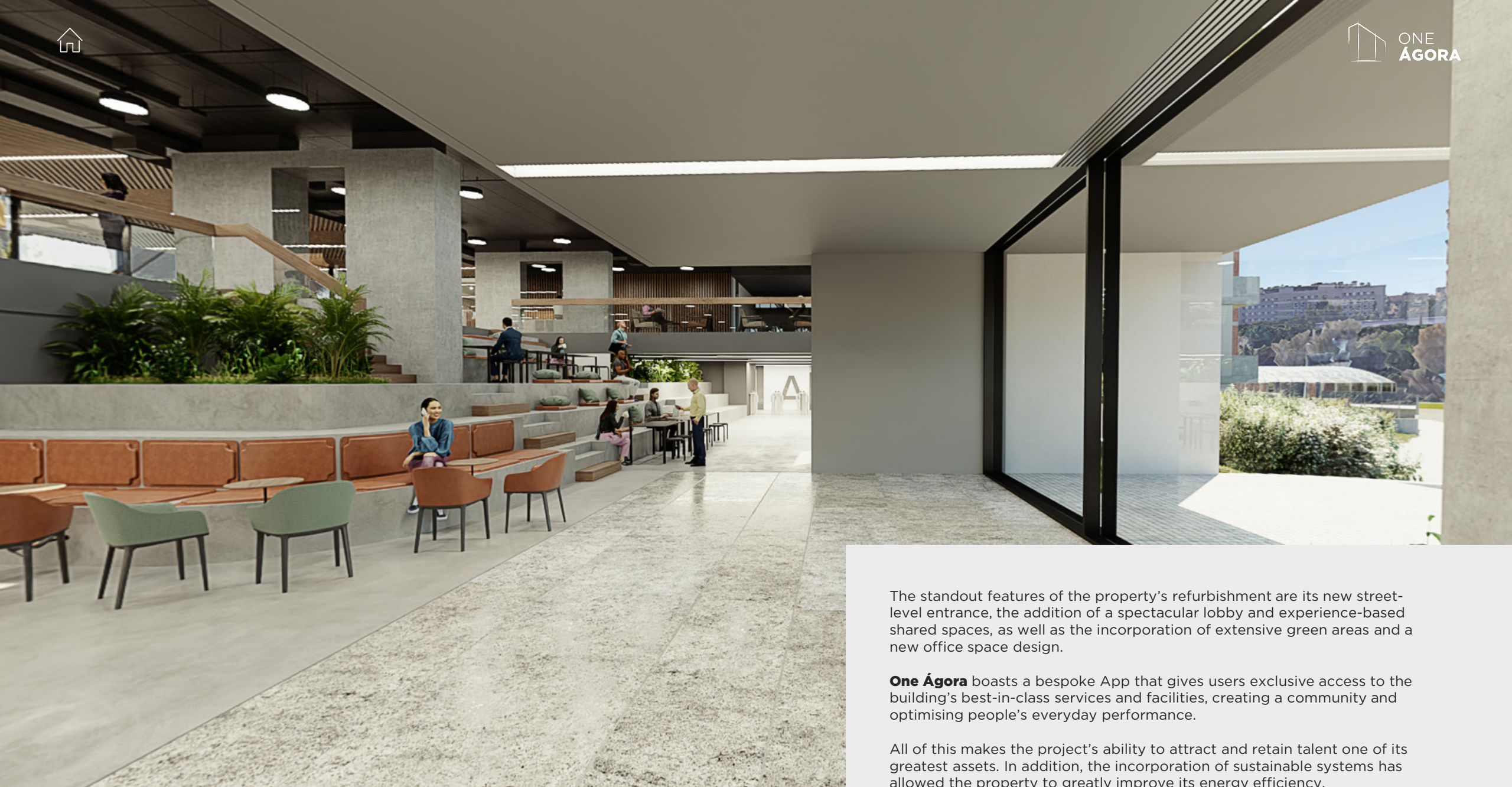
DESIGNED TO DRIVE TALENT

One Ágora has been refurbished to offer a new concept of office building design, one that focuses on occupier well-being by creating unique and experience-driven spaces.

The brains behind this ambitious renovation project is the highly-acclaimed L35 architecture studio. Some of its most distinguished projects include Madrid's new Santiago Bernabéu stadium, and the Vialia and Rimini train stations in Vigo and Rome respectively.

The new design conserves the original façade, but significantly alters the building's structural design, creating floors of over 2,000 sqm – larger than almost anything else that can be found in the Madrid office market.

The building's layout also favours collaborative working and offers an excellent corporate image for any visiting clients and suppliers.



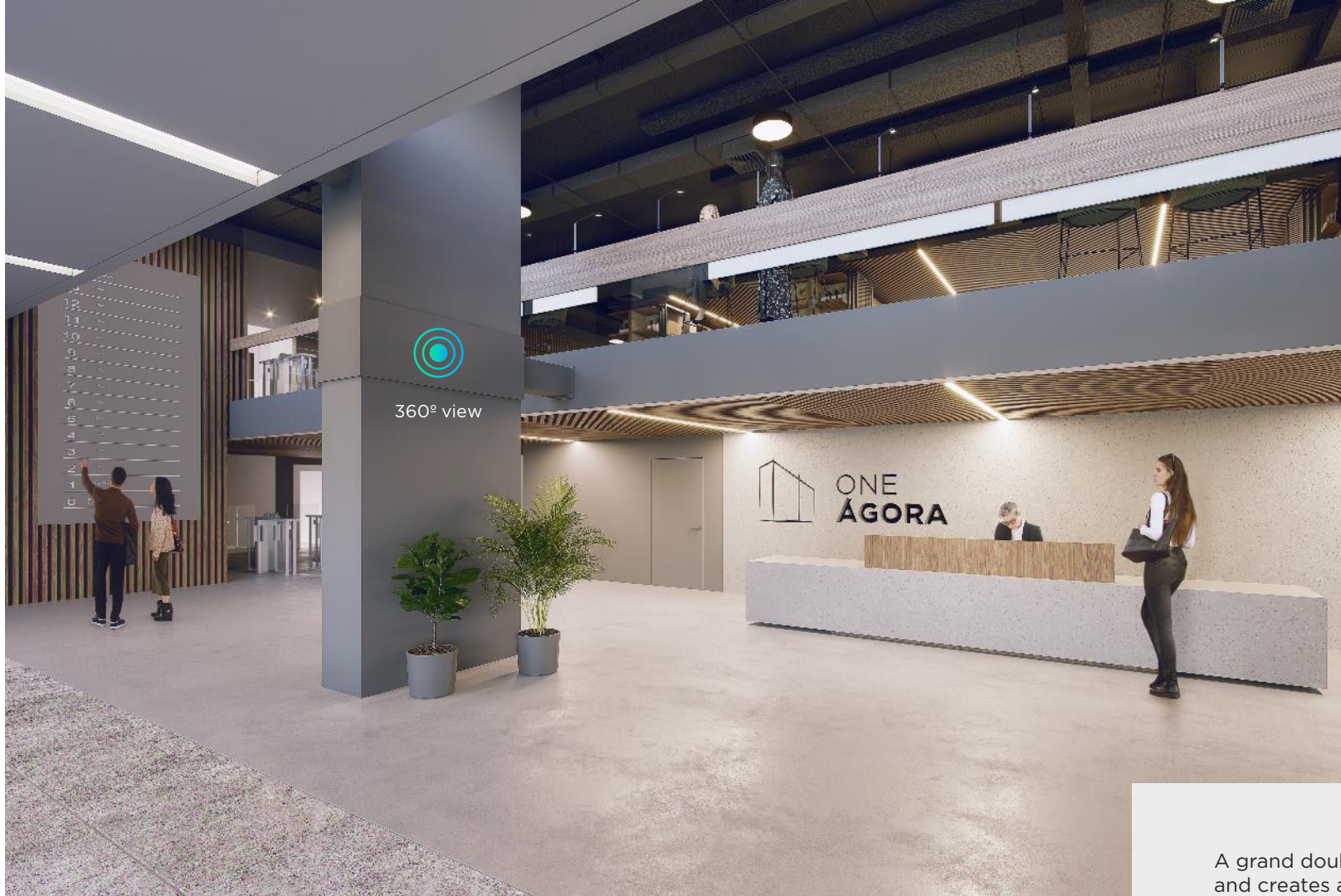
The standout features of the property's refurbishment are its new street-level entrance, the addition of a spectacular lobby and experience-based shared spaces, as well as the incorporation of extensive green areas and a new office space design.

One Ágora boasts a bespoke App that gives users exclusive access to the building's best-in-class services and facilities, creating a community and optimising people's everyday performance.

All of this makes the project's ability to attract and retain talent one of its greatest assets. In addition, the incorporation of sustainable systems has allowed the property to greatly improve its energy efficiency.

An architectural rendering of a modern ground floor interior. The space is characterized by a multi-level design with a central staircase. On the left, a man sits on a built-in bench reading a newspaper. In the center, a man in a white shirt and dark trousers walks up the stairs. To the right, a woman sits at a table working on a laptop, while a man and a woman stand nearby talking. The background shows a mezzanine level with glass railings and more people. The ceiling features a grid of recessed lighting. The overall atmosphere is professional and contemporary.

GROUND FLOOR



AN ENTRANCE WITH A LASTING IMPACT

A grand double height lobby gives **One Ágora** a unique character and creates a lasting impact for anyone entering the property. This welcoming space not only offers a reception area, but it also boasts a videowall that perfectly encapsulates the forward-looking spirit of innovation that defines the building's design and offers its occupiers an experience like no other.

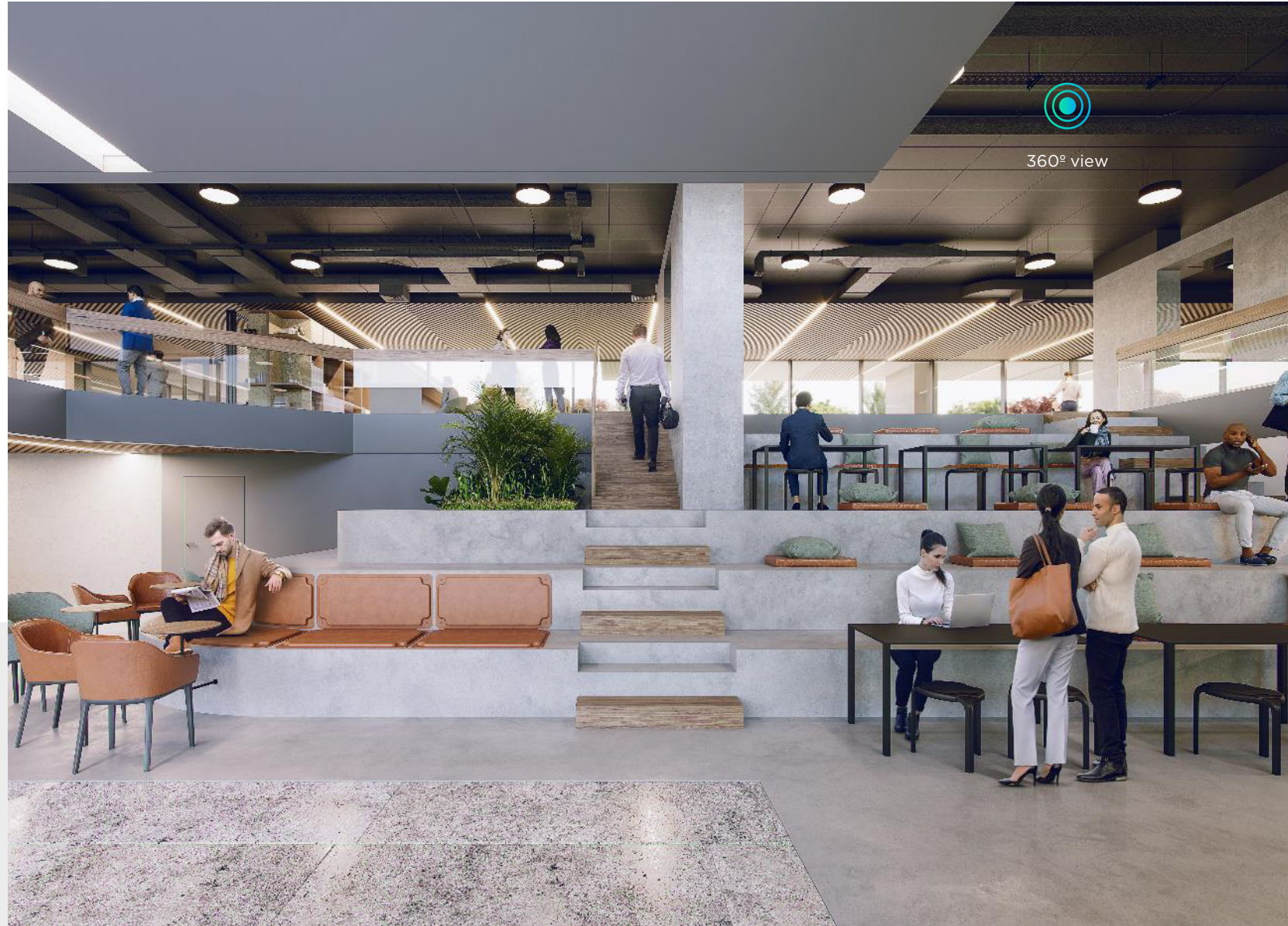
One Ágora car park offers direct access to the lobby, as well as parking provision for 450 vehicles – including 40 parking spaces for electric vehicles. The property actively encourages sustainable mobility and self sufficiency in terms of energy consumption.



AGORA - THE SPACE WHICH TAKES INNOVATION TO THE NEXT LEVEL

The offices of the future are changing and **One Ágora** embraces this by offering a dynamic, open and disruptive space - known as the Agora - to the right of its reception area.

Agora (from the Greek meaning “gathering place” or “assembly”), is inspired by the meetings that the great philosophers used to hold to debate new theories and concepts. Its aim is to create a collaborative space that helps generate new and innovative ideas, increase creativity and improve people’s overall performance.






360° view

Opposite the Agora, users are met with a second videowall ideal for meetings, presentations and events. This high visual-impact feature offers both an initial wow factor and creates a lasting impression, while affording the building incredible versatility and flexibility.

One of the greatest features of the Agora is that it connects the access level with the garden floor, offering a seamless link with nature.



**GARDEN
FLOOR**



NETWORK CAFÉ - THE IDEAL SPACE FOR SHARING IDEAS



360° view

That moment when we stop to enjoy a good cup of coffee is the perfect time to socialise with colleagues and get to know them better.

When we switch off and just take a much-needed time out for ourselves.




360° view



360° view



FLEXIBLE MEETING ROOMS

Modern open-plan multipurpose meeting rooms that are ideal for collaborative working, organising training workshops, presentations, meetings with clients and suppliers, as well as a whole host of other events.

The building will also benefit from a Flex space, the size of which is to be determined.



ÁGORA- RESTAURANT, A MUST IN YOUR DAILY SCHEDULE

A place where the importance given to people's well-being creates a sense of belonging that helps to strengthen personal and social relationships, striking an all-important balance in terms of people's social, psychological and physical needs.

The restaurant leads directly onto the terrace - the ideal space to unwind in the open-air and enjoy the natural setting.





WELLNESS ROOM, HELPING YOU TO MAKE HEALTHY LIFESTYLE CHOICES



A multipurpose space, perfect for use as a gym, wellness area or an events space and flooded with natural light thanks to its direct access to the outdoor courtyard.

A health-conscious space that helps to attract and retain talented professionals.



AN ENCLAVE OFFERING A UNIQUE WORK EXPERIENCE



THE PROPERTY. GARDEN FLOOR

Spending time in a nature-inspired setting strengthens people's ability to think positively and be creative. Factors such as fresh air, sunlight and green landscaped areas enhance the well-being and health of anyone who steps foot into **One Ágora**.

This space is prepared for sharing business opportunities, hosting events and strengthening the social connections that bring people together.



**OFFICES
AND
ROOFTOP**



OFFICE SPACES DESIGNED TO DRIVE BOTH PRODUCTIVITY AND CREATIVITY



Light and airy open-plan spaces designed to ensure a dynamic experience and offering flexibility and versatility – ideal for today's new ways of working. As a standalone property, its four façades flood the office spaces with natural light.

With floors extending more than 2,000 sqm and rising from the first floor up to the fourteenth, the building boasts incredible views out over Madrid.



THE ROOFTOP, A SPACE LIKE NO OTHER

Rediscover Madrid with **697 sqm** of shared spaces and a rooftop terrace that extends **342 sqm**, offering spectacular 360° panoramic views out over the city.

The ideal space for socialising and unwinding in a unique setting, designed to encourage people to engage with one another and hold informal meetings, as well as serving as the perfect space for holding more exclusive events.

A setting that champions collaborative working, drives talent and helps to maximise people's creative ability.



Thanks to modular technology, the Rooftop boasts seven flexible meeting rooms that can be adapted to create bespoke spaces that suit the individual needs of occupiers.

Each room leads directly onto an open-air terrace.



A NATURAL OASIS IN THE NORTH OF MADRID



One Ágora is designed by and for end user, creating a work environment that helps to strike the perfect balance in terms of people's needs and to enhance their overall quality of life. It offers a seemingly endless array of services and amenities that come together to create a unique user experience.

It is currently in the process of achieving the highest of standards required by the following certifications*:

- **LEED BD+C Core&Shell Gold:** this certification recognises efficient measures taken by a company to reduce its environmental footprint. Key measures include ensuring an efficient use of energy, water and other resources in order to reduce waste and promote occupier health and well-being.
- **WELL Core Gold:** strategies that improve quality standards and as such guarantee occupier health and well-being. Particularly of note are air quality, water treatment, promoting healthy eating and an active lifestyle, use of natural light and thermal and acoustic comfort.
- **WELL Health&Safety:** promotes safe and healthy buildings thanks to sound construction and design standards.
- **WiredScore Gold y SmartScore:** meets all the technology and connectivity requirements for the building's occupiers. Identifies smart buildings that offer a unique user experience, drives profitability and meets the most exacting of sustainability standards.

*This is commercial information and is not in any way binding

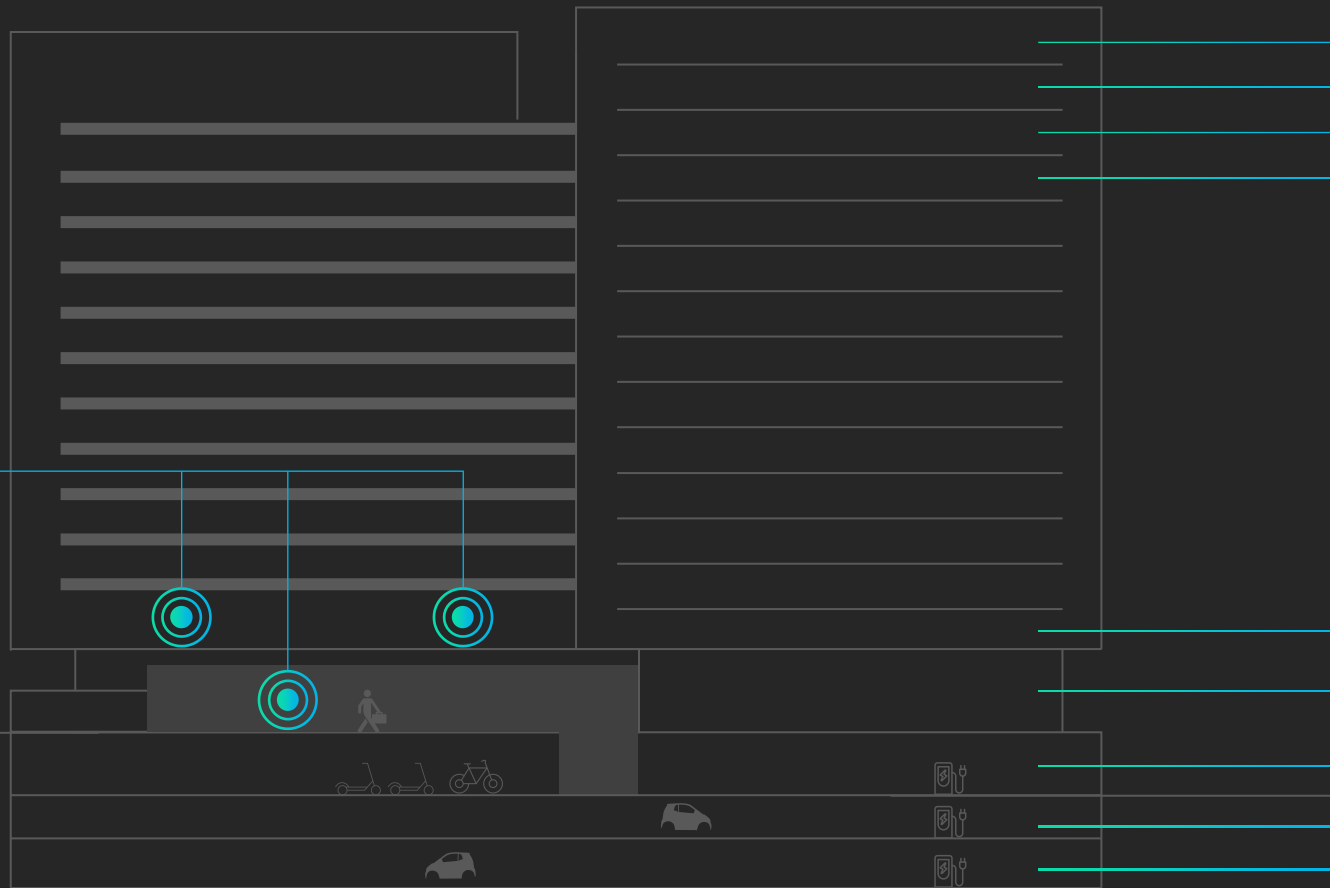


AREA SCHEDULE

31,764 sqm

TOTAL LETTABLE AREA

Click for a 360° view



TOP FLOOR SOUTH TOWER | 689 sqm

FLOOR 13 | 2,298 sqm

FLOOR 12 | 2,288 sqm

FLOORS 1-11 | 2,379 sqm

GARDEN FLOOR | 322 sqm

GROUND FLOOR | 133 spaces

S-1 | 156 spaces

S-2 | 161 spaces

*GLA according to AEO measurements

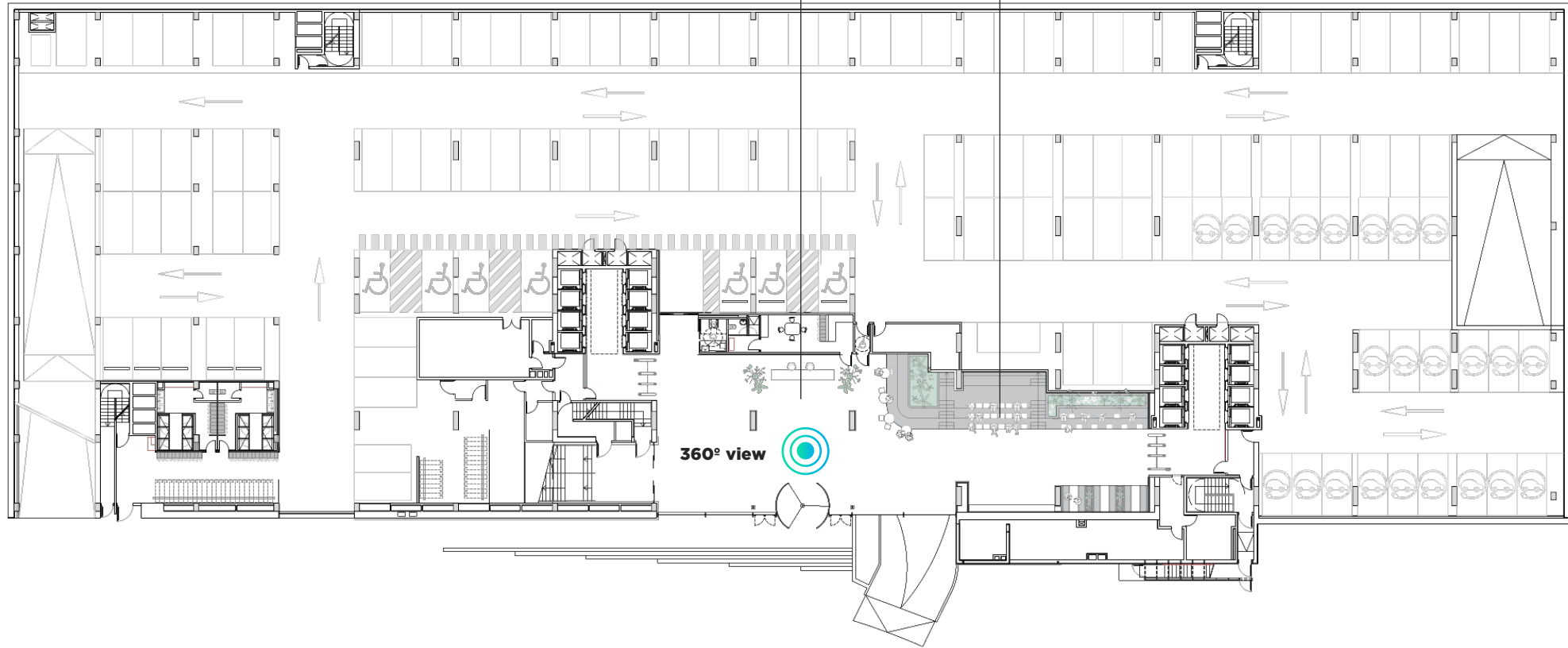


FLOOR PLANS

GROUND FLOOR

LOBBY
488 sqm

AGORA
121 ppl | Seating for 64 ppl



C. SERRANO GALVACHE



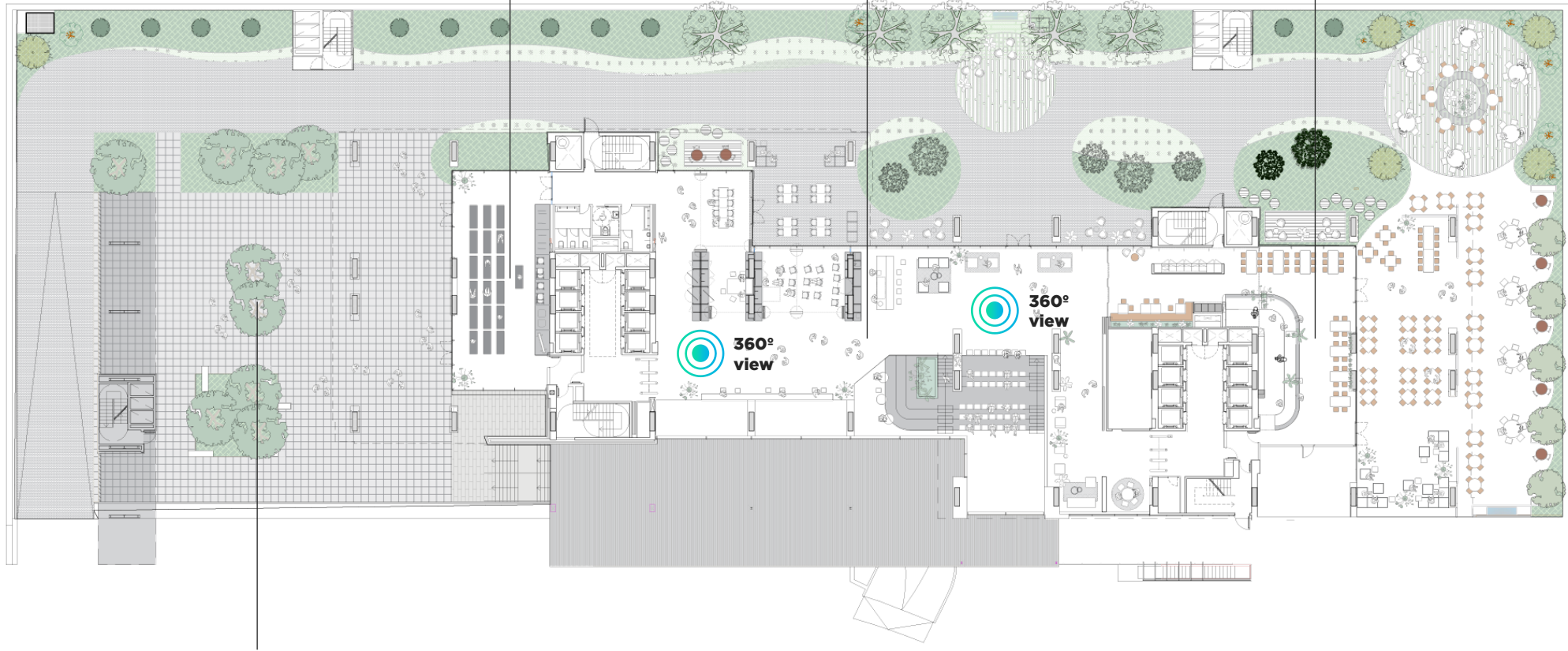
FLOOR PLANS

GARDEN FLOOR

WELLNESS AREA
Yoga 25 ppl | Seating for 80 ppl

COMMUNAL AREA | 1,044 sqm

ÁGORA-RESTAURANT | 322 sqm



OUTDOOR AREA + EXTERIOR | 730 sqm
344 ppl

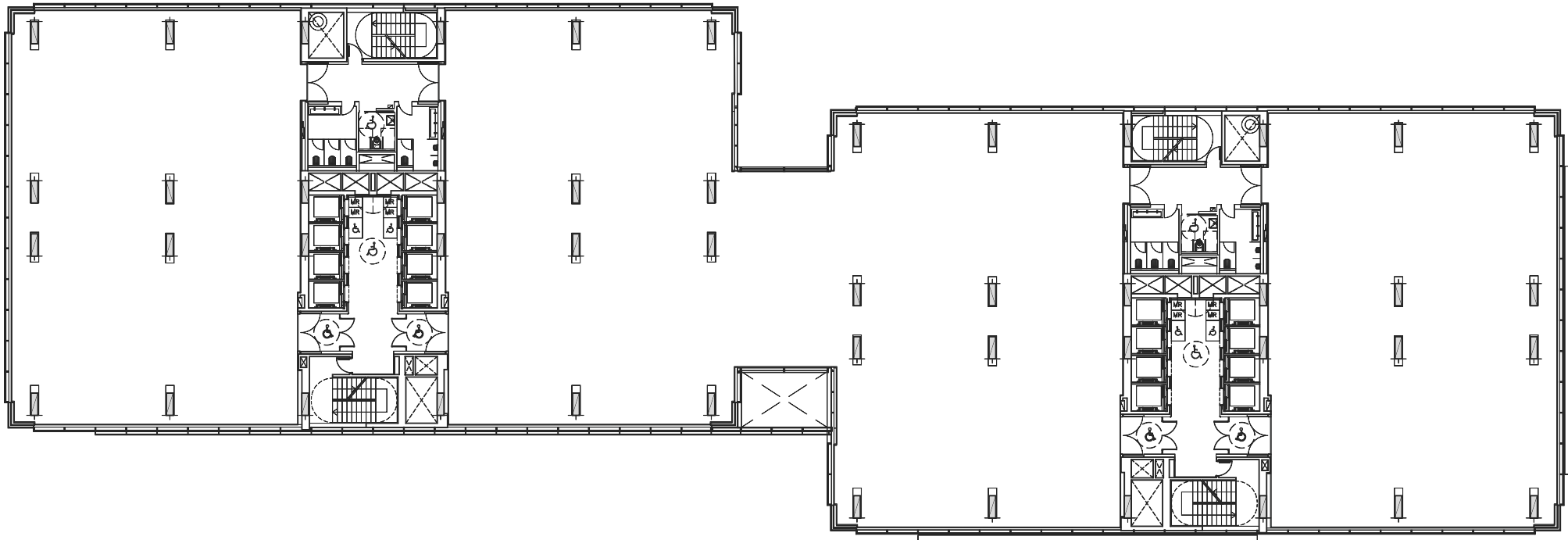
C. SERRANO GALVACHE

TOTAL PLOT SIZE | 5,818 sqm



FLOOR PLANS

FLOORS 1-11 | 2,379 sqm GLA



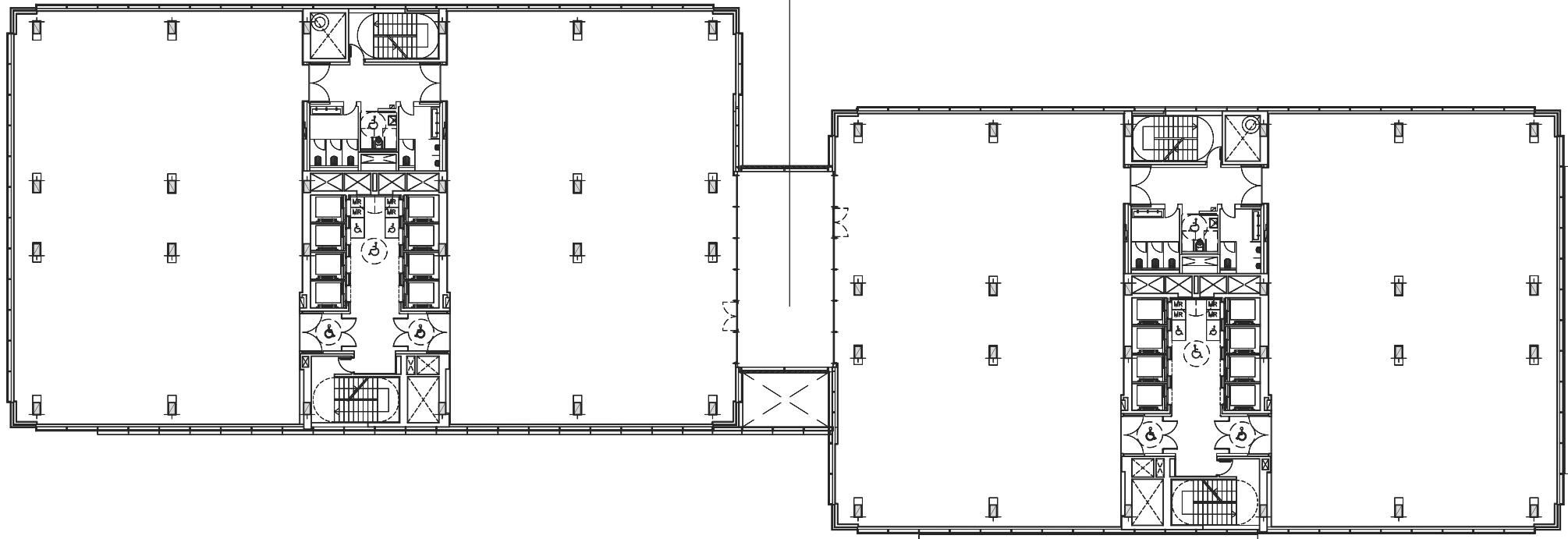
C. SERRANO GALVACHE



FLOOR PLANS

FLOOR 12 | 2,288 sqm GLA

TERRACE | 68 sqm



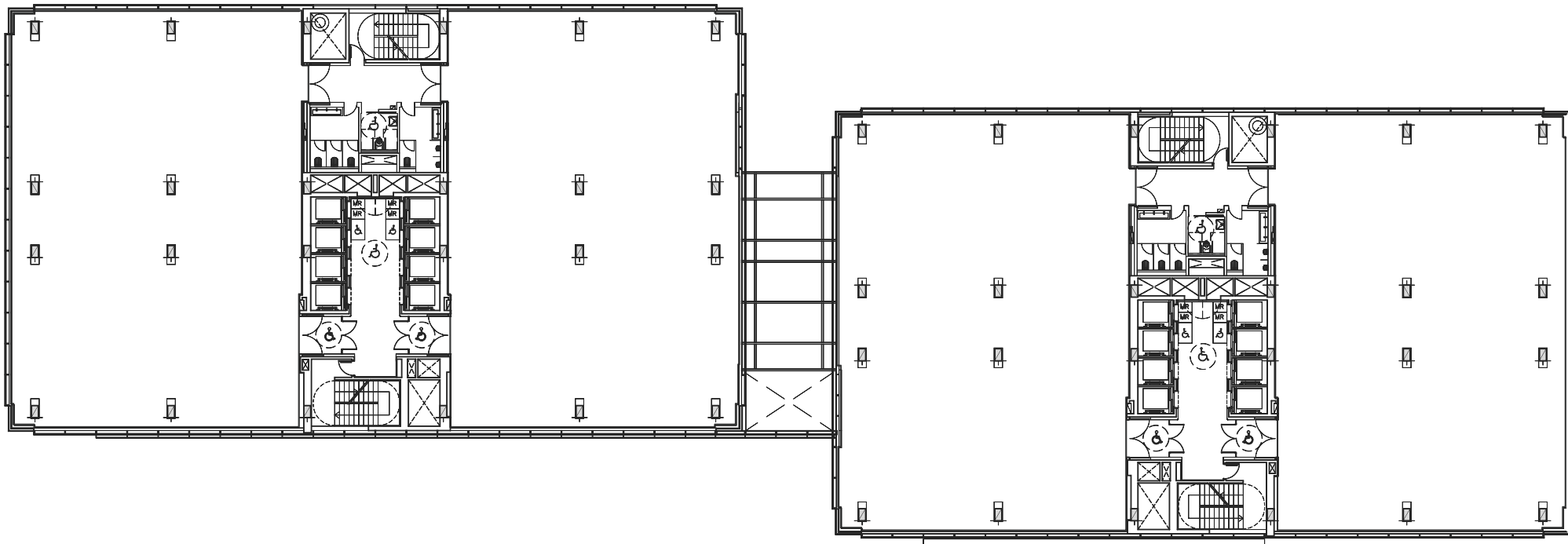
C. SERRANO GALVACHE



FLOOR PLANS



FLOOR 13 | 2,298 sqm GLA



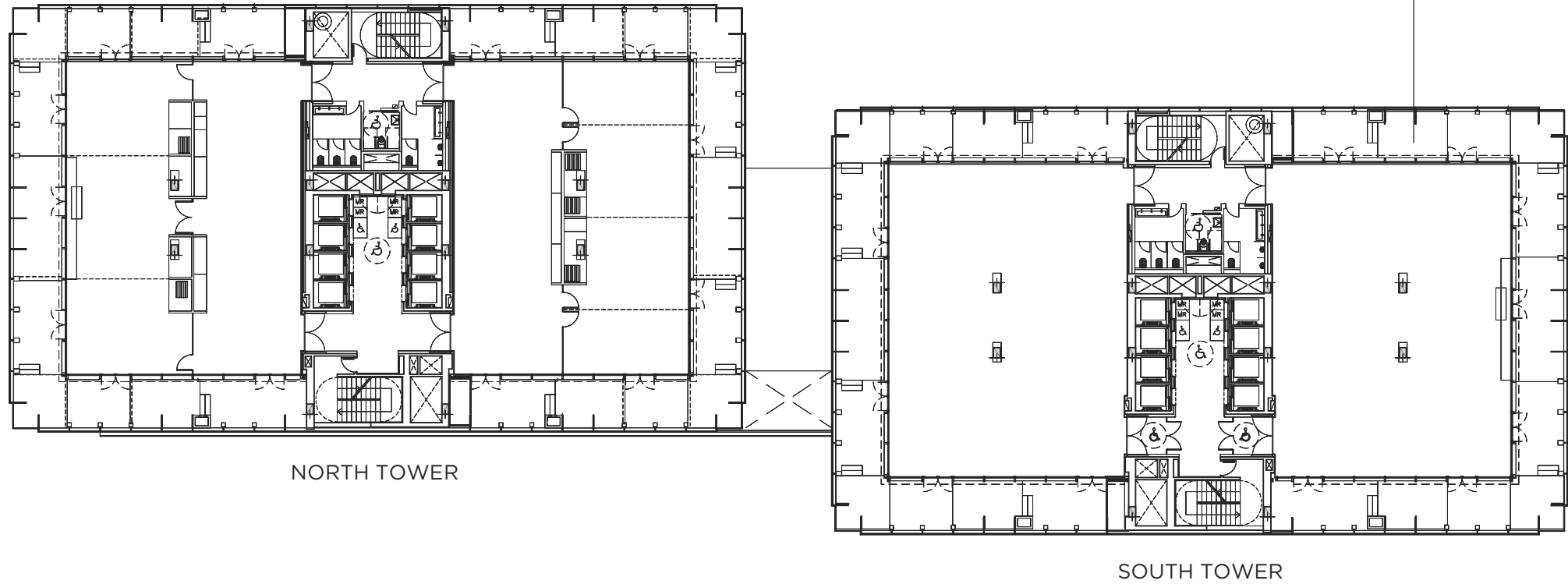
C. SERRANO GALVACHE



FLOOR PLANS

TOP FLOOR
SOUTH TOWER | 689 sqm GLA

TERRACE | 343 sqm



NORTH TOWER

SOUTH TOWER

C. SERRANO GALVACHE



FLOOR PLANS

TOP FLOOR NORTH TOWER

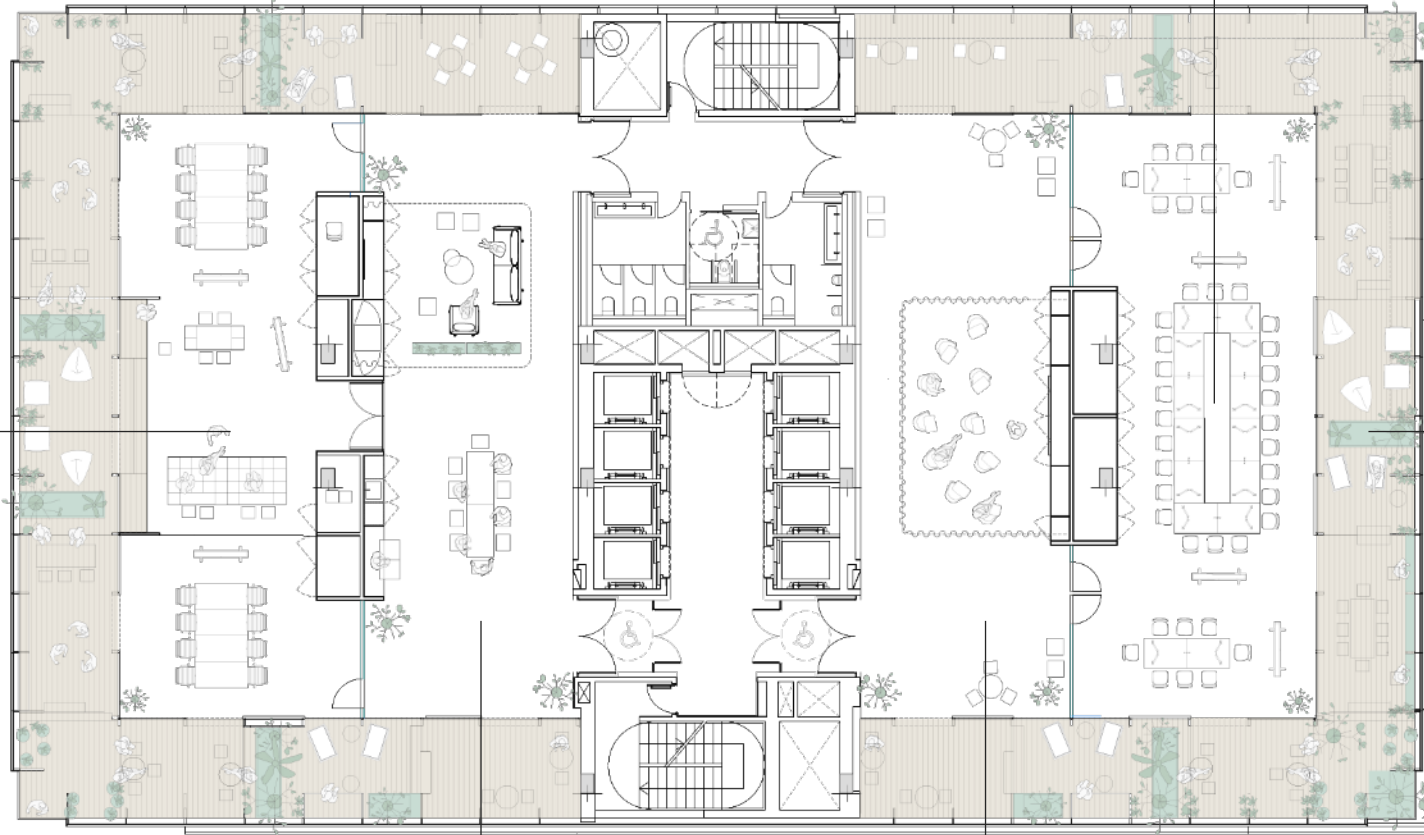
**NORTH ROOMS + SOUTH ROOMS
+ CENTRAL AREAS** | 688 sqm
Standing room for 360 ppl | Seating for 280 ppl

Standing room for 80 ppl
Seating for 50-60 ppl



Standing room for 100 ppl
Seating for 60-80 ppl

TERRACE | 343 sqm



Standing room for 80 ppl
Seating for 50-60 ppl

Standing room for 80 ppl
Seating for 50-60 ppl

C. SERRANO GALVACHE



AMENITIES AND TECHNICAL SPECIFICATIONS

- Lobby with direct street access.
- Garden floor with direct access from the lobby via the Agora.
- Top floor surrounded by a terrace with 360° views over the city.
- Office floors comprising up to 2,379 sqm.
- Plot size: 5,818 sqm.
- Building capacity: 4,282 people above ground level.
- Two sets of lifts. 16 lifts.
- Free standing building with 4 outward-facing façades.
- Maximum occupancy ratio: 1:8
- Free height 2.57 m.
- Slab to slab height:
 - Ground floor and Garden floor: 3.25 m.
 - Above ground levels: 3.11 m.
 - Top floor: 3.91 m.
- 15 cm raised technical flooring. 40 cm suspended ceiling.
- Four escape routes.
- LED lighting inside and outside the building.
- 450 parking spaces. 40 electric vehicle recharging points.
- Bicycle racks
- Changing rooms, showers and lockers.
- Fire protection system installed throughout the building by means of sprinklers.
- Equipped with independent and PRM friendly bathrooms.
- The building is supplied with medium voltage, saving money for tenants. Central HVAC system with simultaneous hot/cold function.
- The system uses fan coils and a BMS to regulate and manage the entire building.
- Exclusive app for accessing various functions inside the building.

*This is commercial information and is not in any way binding



360° view



www.oneagora.es

Developer



Agent



spain.oficinasmadrid@cbre.com
91 598 19 00



*Information contained within this dossier is commercial in nature and is not contractually binding

